

HOUSEHOLDER SELF ASSESSMENT FORM 3: TWO STOREY (AND ABOVE) REAR EXTENSIONS

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TWO STOREY (AND ABOVE) REAR EXTENSIONS

Certain limited forms of development can be undertaken without the need to make a planning application to the local planning authority, these are known as Permitted Development Rights and are granted under the terms of the Town and Country Planning (General Permitted Development) Order. Please note that flats and mobile homes do not benefit from Permitted Development Rights.

Important: Please contact the Planning Department if the property is within the curtilage of a Listed Building, Conservation Area or if you suspect that it is possible the property has had its Permitted Development Rights removed as further restrictions to those listed in this form are likely.

Please answer the following questions to determine if planning permission is required for your proposed two storey (and above) rear extension.

If you answer "NO" to all of the following questions then planning permission is not required.

Does the proposal:-

1.	extend beyond the rear wall of the original dwellinghouse* by more than 3 metres? (This measurement should be made from the base of the rear wall of the original house that the enlargement extends beyond.) (See attached Technical Guidance for further clarification)	Yes <input type="checkbox"/>	No <input type="checkbox"/>
2.	have a roof eaves height** greater than 3 metres and be within 2 metres of any boundary?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
3.	have any part of the structure higher than the highest part of the existing roof?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
4.	extend sideways beyond the side elevation of the original dwellinghouse*?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
5.	result in any part of the structure being within 7 metres of any boundary of the curtilage of the dwellinghouse opposite the rear wall of the dwellinghouse? (See attached Technical Guidance for further clarification)	Yes <input type="checkbox"/>	No <input type="checkbox"/>
6.	include a balcony, veranda or raised platform that would be more 300mm above the existing ground level?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
7.	have any upper-floor, side facing windows that are <u>not</u> obscurely glazed?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
8.	have any upper-floor, side facing windows that open less than 1.7m above the floor level to that room? (See attached Technical Guidance for further clarification)	Yes <input type="checkbox"/>	No <input type="checkbox"/>
9.	have a roof pitch that differs from that on the existing dwellinghouse? (See attached Technical Guidance for further clarification)	Yes <input type="checkbox"/>	No <input type="checkbox"/>
10.	front onto a highway <u>and</u> forms either the principal elevation or a side elevation of the original dwellinghouse*?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
11.	result in over 50% of the total area of the curtilage (garden) being covered by extensions and additions to the original dwellinghouse*?	Yes <input type="checkbox"/>	No <input type="checkbox"/>

12.	encroach in any way onto land outside of your curtilage (garden) including guttering and foundations?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
13.	have an appearance that is dissimilar to the existing dwellinghouse in terms of materials used in any exterior work? (not applicable to conservatories)	Yes <input type="checkbox"/>	No <input type="checkbox"/>

* The term “original dwellinghouse” means the house as it was first built or as it stood on 1 July 1948 (if it was built before that date). Although you may not have built an extension to the house, a previous owner may have done so.

** Eaves height is measured from ground level at the base of the outside wall to the point where that wall would meet the upper surface of the roof slope – the overhang should be ignored for the purposes of measurement.

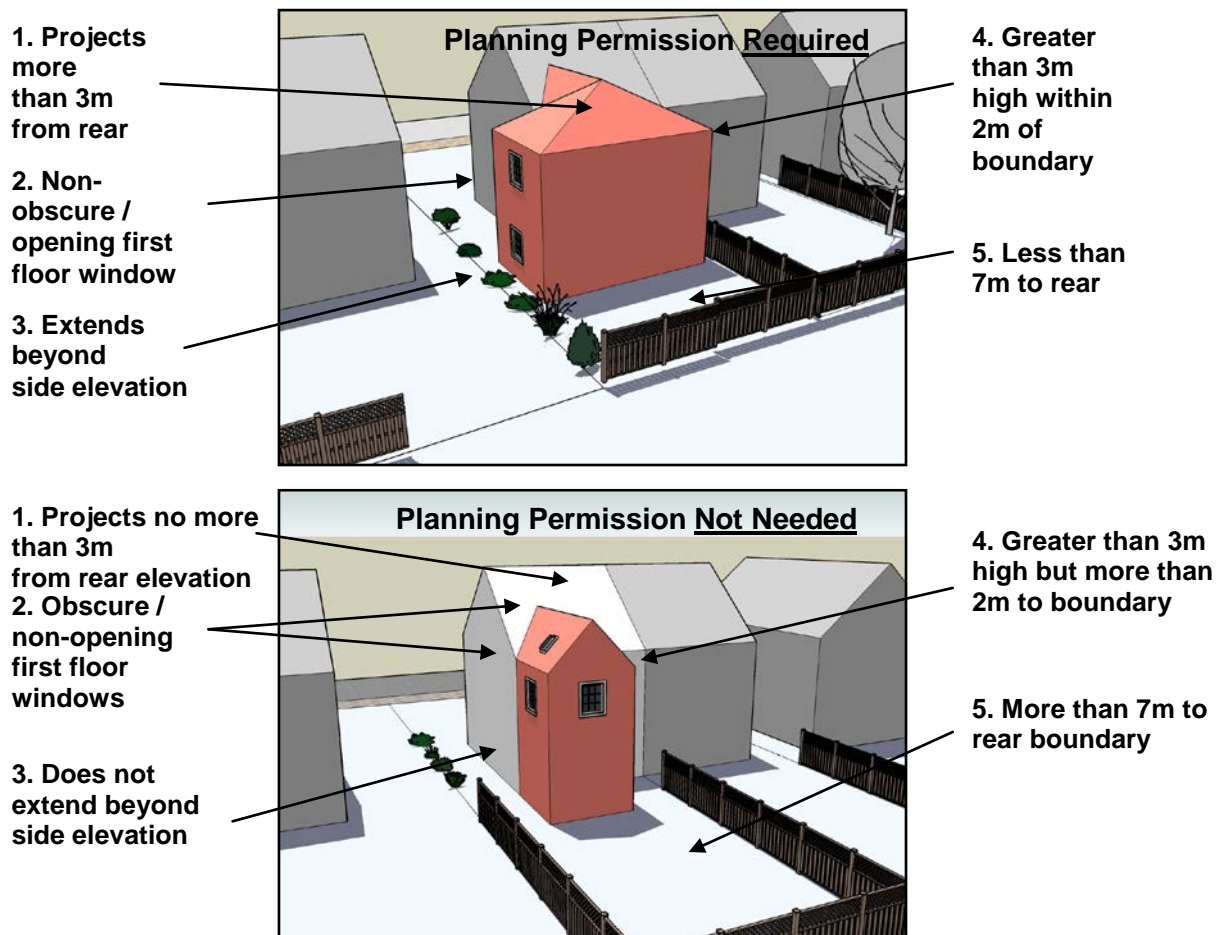
Definitions:

‘Principal elevation’ - Usually that part of the house which fronts (directly or at an angle) the main highway serving the house (the highway which sets the postcode for the house) and will usually contain the main architectural features such as main bay windows or a porch serving the main entrance of the house.

There will only be one principal elevation on a house. Where there are two elevations which may have the character of a principal elevation (for example, on a corner plot), a view will need to be taken as to which of these forms the principal elevation. Note, however, that in such cases the second elevation will also be subject to the restrictions under Class A if it is a side elevation and fronts a highway.

The **principal elevation** could include more than one wall facing in the same direction – for example, where there are large bay windows on the front elevation, or where there is an ‘L’ shaped frontage. In such cases, all such walls will form the principal elevation and the line for determining what constitutes ‘extends beyond a wall’ will follow these walls.

‘Similar appearance’ - A material that matches the existing in colour, form and texture



Note: For Building Regulations approval a fire escape window / opening window **is required** for each room on first floor level

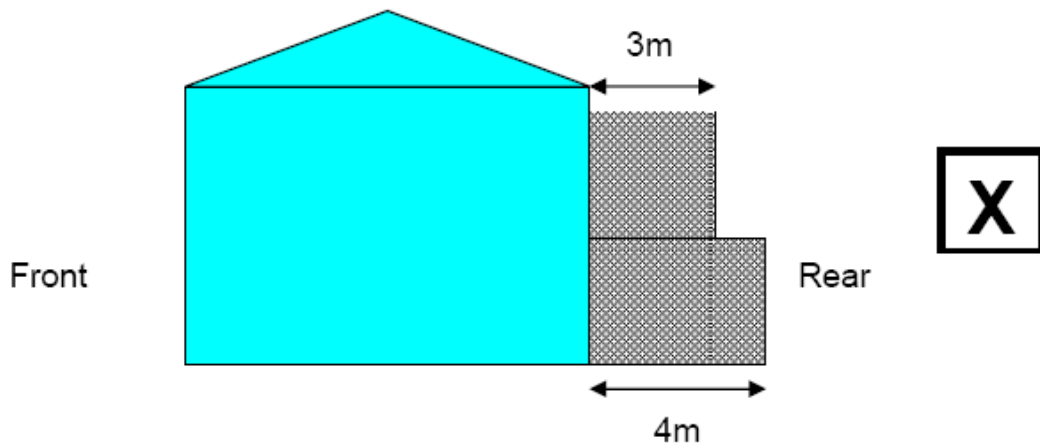
For more information please visit the Planning Portal website: <http://www.planningportal.gov.uk/>

If you would like confirmation in writing whether or not planning permission is required, an application for a Lawful Development Certificate is required to be submitted with the relevant fee and documentation.

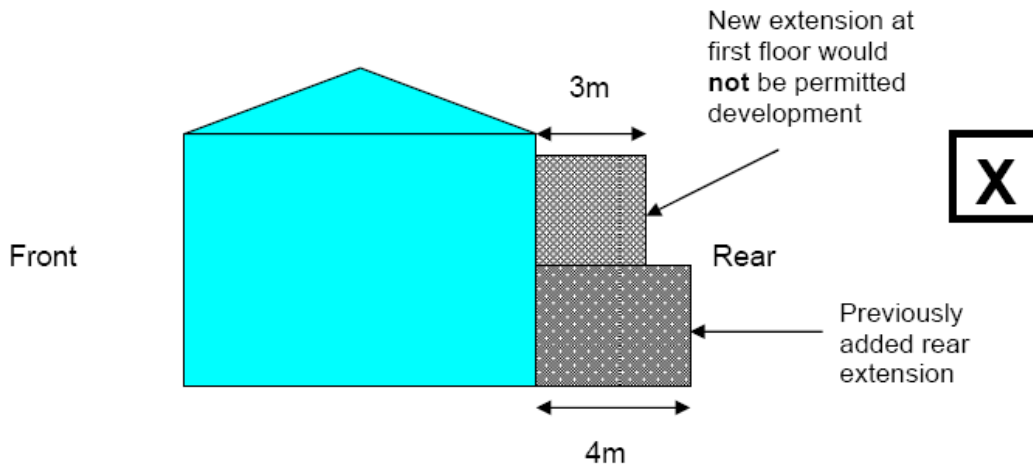
TECHNICAL GUIDANCE

The term 'more than one storey' applies to the part of the house being enlarged through permitted development. This could either be a two storey extension to a house, or might comprise the addition of a storey onto an existing part of the house - for example, the addition of a second storey onto an existing single storey part of the house. The enlarged part of the house must not extend beyond the rear wall by more than three metres if it is to qualify as permitted development. Measurement of the extension beyond the rear wall should be made from the base of the rear wall of the original house that the enlargement extends beyond. Again, this limit applies to any rear wall being built out from (see diagrams under (e) above).

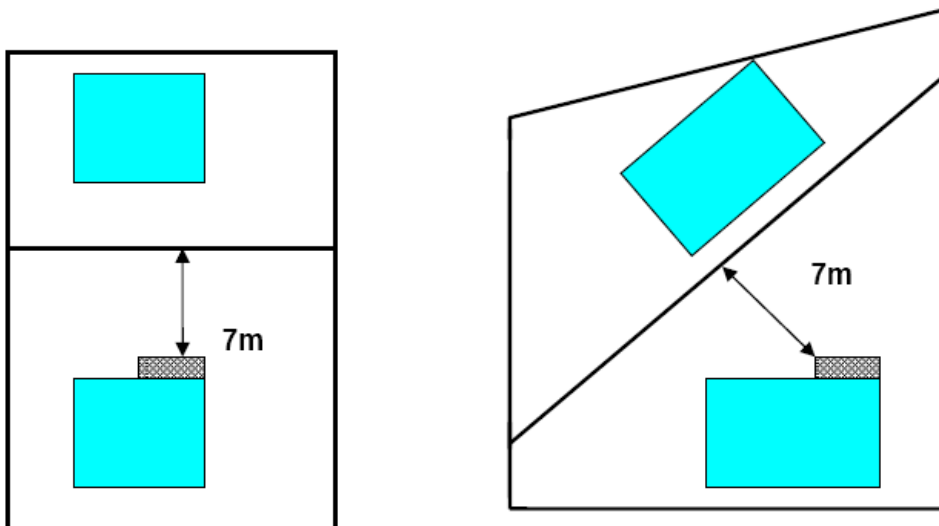
The limits applying to an enlargement of a house by more than one storey will apply in all cases where the enlarged part of the dwelling house includes **any** part that is of more than one storey. So the following, showing a side view of a *detached* house, would **not** be permitted development - the extended part of the house includes more than one storey and the ground floor part extends by than three metres from the rear wall of the house:



Similarly, if a *detached* house has an existing, single storey, ground floor extension that was not part of the original house and which extended beyond the rear wall by more than three metres, then it would not be possible to add an additional first floor extension above this without an application for planning permission - because the enlarged part of the house would then consist of more than one storey and would extend beyond a rear wall by more than three metres:



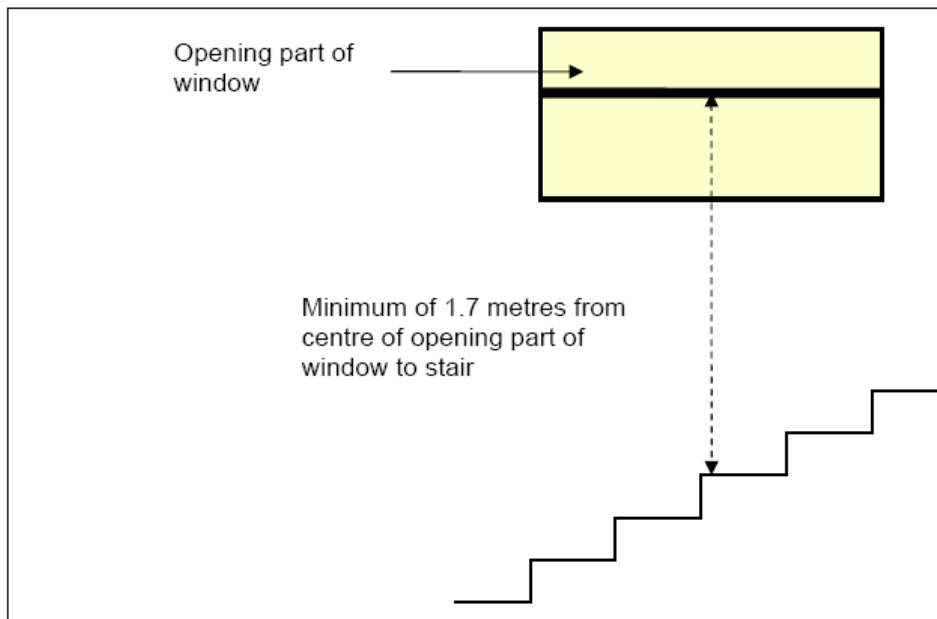
In addition, where the extension or enlarged part of the house has more than one storey, it must be a minimum of seven metres away from the boundary of the land surrounding any house opposite. For example:



Upper-floor window located in a wall or roof slope forming a side elevation of the dwellinghouse

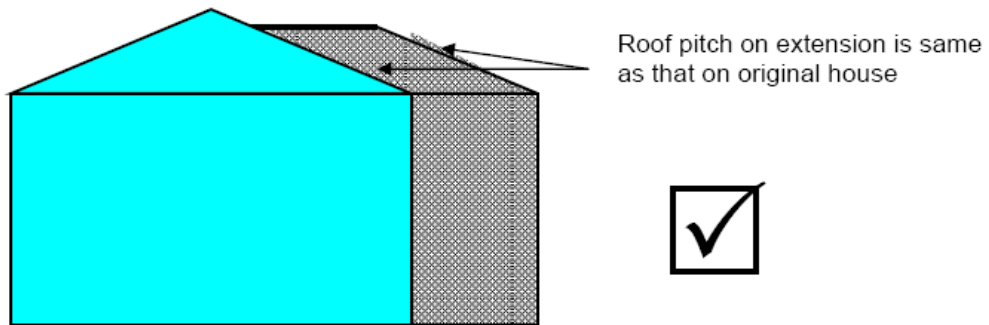
This condition requires upper-floor windows in any part of the side of a house to be obscure glazed. Glazing to provide privacy is normally rated on a scale of 1-5, with 5 providing the most privacy. To be permitted development, side windows should be obscure glazed to minimum of level 3. Obscure glazing does not include one-way glass.

Where such a window is on a staircase or landing (i.e. not in a room) the 1.7 metre measurement should be made from the stair or point on a landing immediately below the centre of the window, upwards to the opening part of the window.



- (c) *where the enlarged part of the dwellinghouse has more than one storey, the roof pitch of the enlarged part shall, so far as practicable, be the same as the roof pitch of the original dwellinghouse*

For example:



Disclaimer

The Self Assessment Form is for information only and cannot cover every situation. Should you be unclear as to whether or not planning permission is required then please telephone 01772 625400 to speak to a Planning Officer.